



ADDENDUM NO. 1

Date: 02 DEC 2025

SDG Project No.: 2518

Project Name: Animal Control Facility for Troup County

The Bidding Documents are modified as follows:

PART 1.00 DRAWINGS

1.01: Sheet SD-3:

- A. Gas incinerator G.C. to sawcut existing asphalt and install a new concrete pad per keynote six. G.C. to provide the required gas line and electrical service to the incinerator and connect utilities to the incinerator. Owner will provide and set the incinerator in place on top of a new concrete slab – 15' x 17' x 12" thick, 4000 psi concrete, 24" x 8" concrete turn down, (3) #5s continuous at perimeter and #5s @ 18" o.c. each way in the field of the slab.
- B. The exterior existing asphalt and fence on the back of the building is to remain, except for new incinerator pad

1.02: Sheet D-2 & D-3:

- A. Existing hard tile is thin-set.

1.03: Sheet A1-3:

- A. Equipment provided by Owner. Refer to the upper left-hand side of Sheet A1-3 for keynotes 1, 2 & 3.

1.04: Sheet A2-2

- A. Tile base will not be required inside kennels – spaces 114, 116 & 117.
- B. See attached Sheet ADD1-1A for exact locations of FRP panels to 8' a.f.f. with special coating above.

1.05: Sheet A4-2 thru A4-5:

- A. Design of closed-cell spray-foam insulation is based on Carlisle Closed Cell Foam Sealite Pro Closed Cell. Provide a prescriptive ignition barrier and intumescent coating. See the attached two sheets of technical data sheets.

1.06: Sheet A4-4:

- A. Detail 1/A4-4 in lieu of using salvaged metal wall panels on the interior. See ADD1-3A, for interior liner panels
- B. Provide metal flashing over the top of the 8" CMU exterior kennel wall with a 5" vertical reglet on the exterior and interior.

1.07: Sheet A7-1 and A8-2:

- A. See cabinets and stainless steel countertop specifications on sheets A7-1 and A8-2.
- B. See upper right hand of sheet A8-2 for Sound Panels specs.

1.08: Sheet A8-1:

- A. New exterior footing – 3,000 psi footing, 3' 7-5/8" wide x 1' 4" deep continuous footing with (3) #5 continuous and (1) #5 vertical @ 48" o.c. in 8" CMU grout-filled cells. See detail 1/A4-3.

1.09: Sheet E-1 and E-2:

- A. Refer to Sheet E-1 and E-2 for electrical specifications.
- B. Comply with National Electrical Code – 2023 Edition.
- C. Provide a design-bid-build scope as part of this project. Refer to Sheet E-2 for list of power requirements for the new HVAC and other equipment. Electrical sub-contractor to include all service, panels, and transformer upgrades for a fully functioning electrical system for the renovated building. also include service, panels, grounding, circuits, transformers, to provide electrical 3 phase power to large ground mounted HVAC Unit.

PART 2.00 PROJECT MANUAL

NO ITEMS INCLUDED

Note: new 3 phase service will need to be provided to the building. contractor to coordinate with owner's power supplier

PART 3.00 ADDENDA

NO ITEMS INCLUDED

PART 4.00 APPROVED MANUFACTURERS

NO ITEMS INCLUDED

PART 5.00 ATTACHMENTS

5.01: Sheet ADD1-1A, ADD1-2A, ADD1-3A, ADD1-4A, ADD1-5A, and ADD1-6A, all attached hereto.

5.02: Closed cell insulation specification, (2) sheets

PART 6.00 GENERAL CLARIFICATIONS

6.01: Occupancy

- A. The building will be completely unoccupied during construction. All loose furniture is to be removed by the Owner prior to commencement of construction.

6.02: Permitting & Tap Fee, etc.

- A. All costs of permitting, tap fees, health department fees, etc. will be paid directly by Troup County.

6.03: Project Trailer

- A. A project trailer will not be required under this contract.

6.04: Builder's Risk

- A. Troup County will cover builders' risk insurance under its insurance policy.

6.05: Bid Bond

- A. AIA 310- 2010 Bid Bond is preferred but not required.

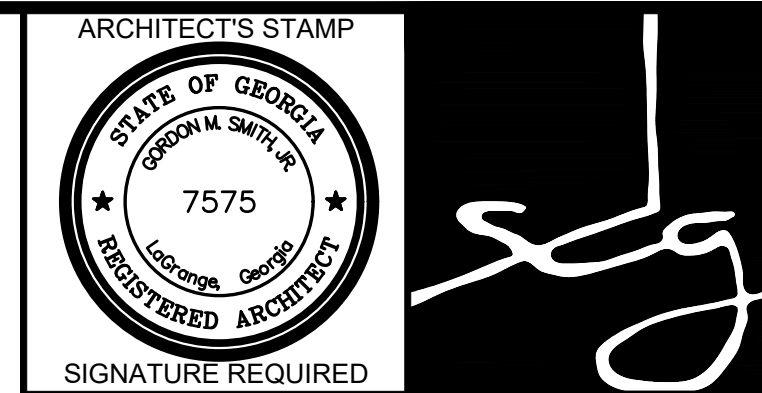
6.06: Utility Verification

- A. G.C. Is to provide a \$35,000.00 cash allowance for underground sewer and water line upgrades, if required, in the base bid.

END OF ADDENDUM NO. 1

① FRP PANELS TO 8' AFF,
SPECIAL COATING ABOVE,
Fully adhere to gypsum
brd.

NEW EXTERIOR FOOTING SEE
DETAIL 1/A4-3, AND ADDENDUM
NO. 1



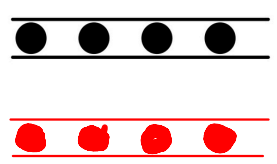
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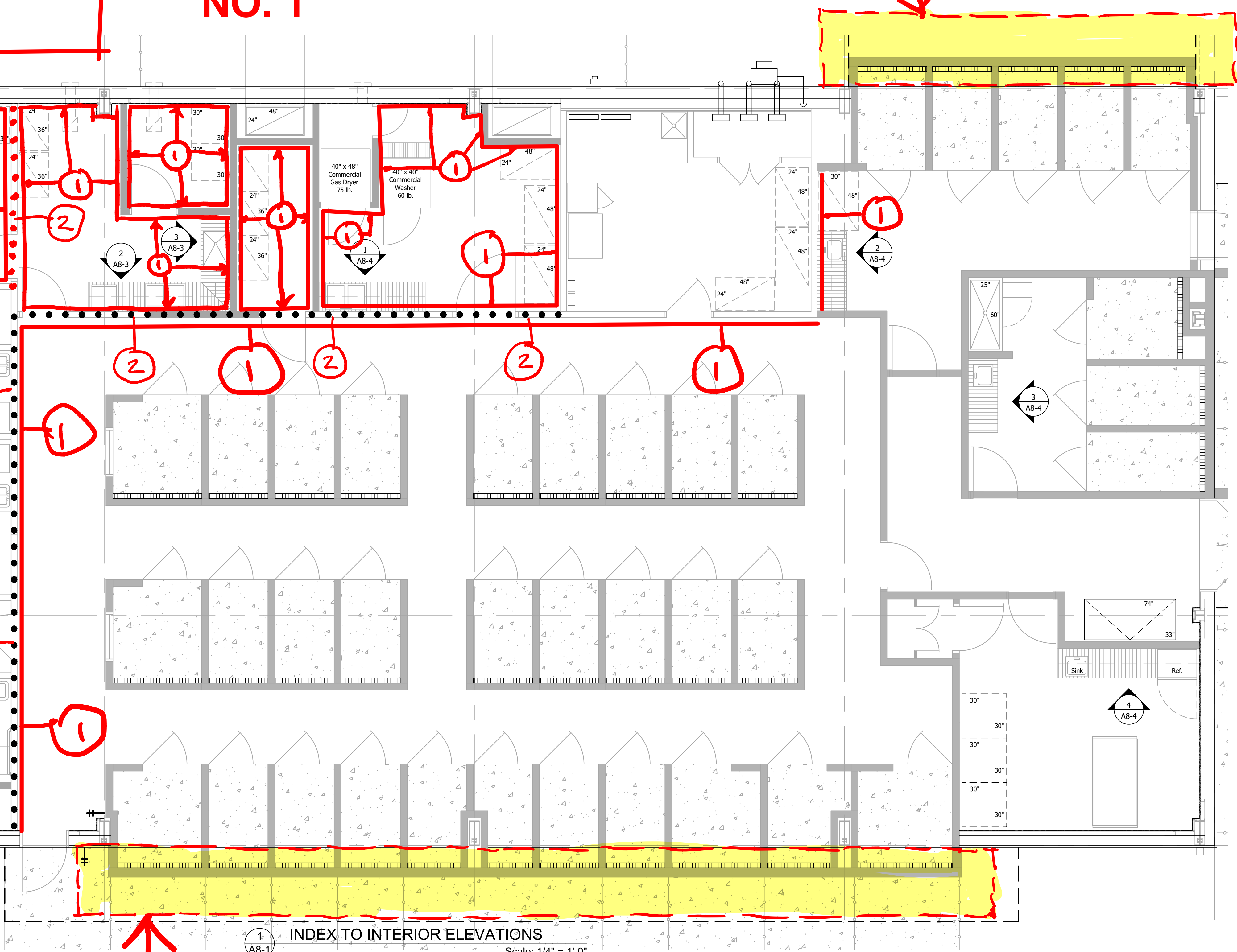
REVISIONS	
Δ	DATE DESCRIPTION

PROJECT:
Animal Control Facility
Troup County
144 Sam Walker Drive
LaGrange, Georgia

TITLE:
**INTERIOR ELEVATION
INDEX**

MODIFIED DATE:	JOB NO: 2518
ISSUED DATE: For Pricing and Permit 12 Nov 2025	SHEET: A8-1

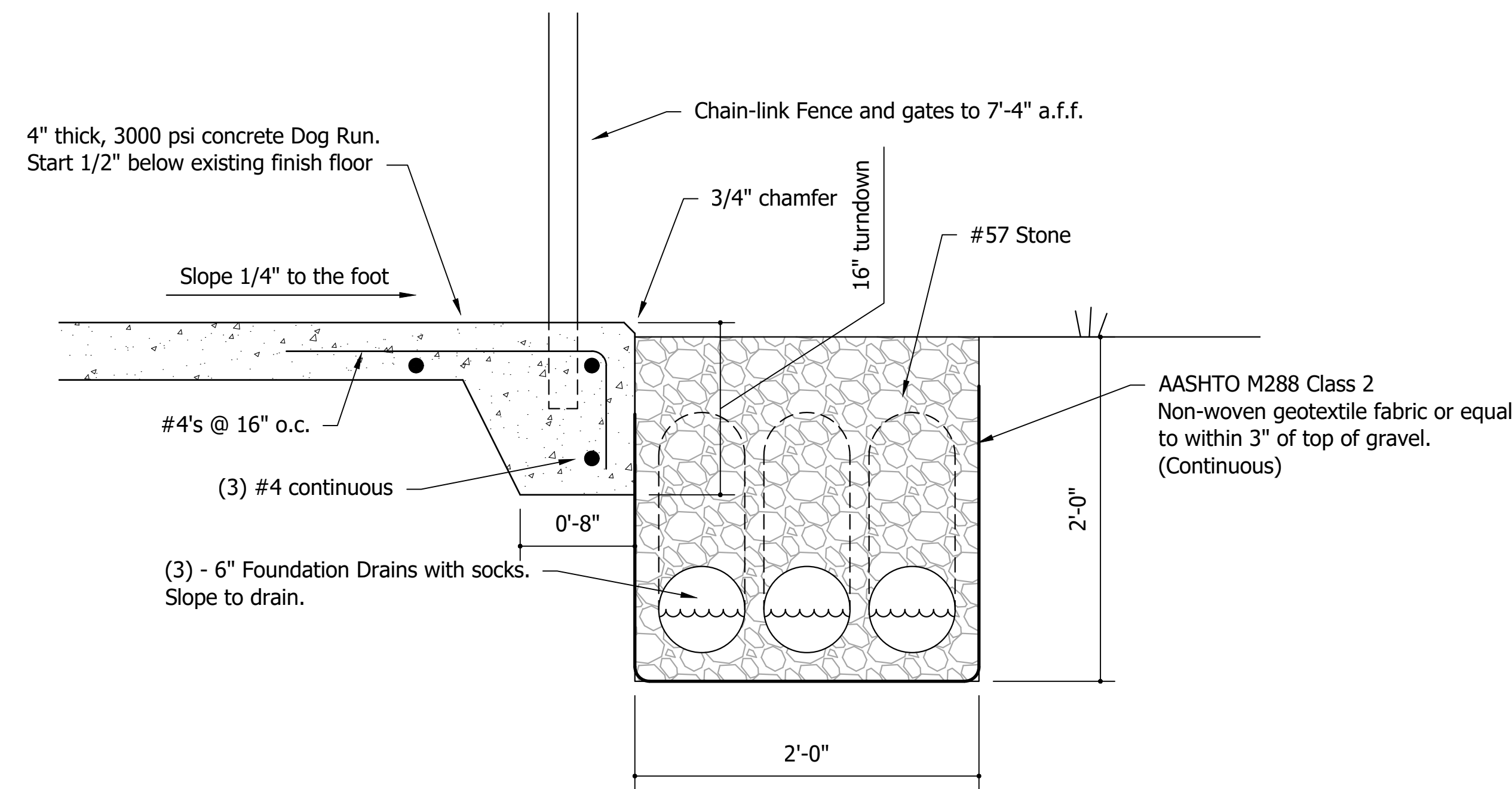
②  Extend existing metal
stud wall from 10'-0"
a.f.f. to seal tight against
roof panel at ±17'-0"
a.f.f. per Wall Type ②



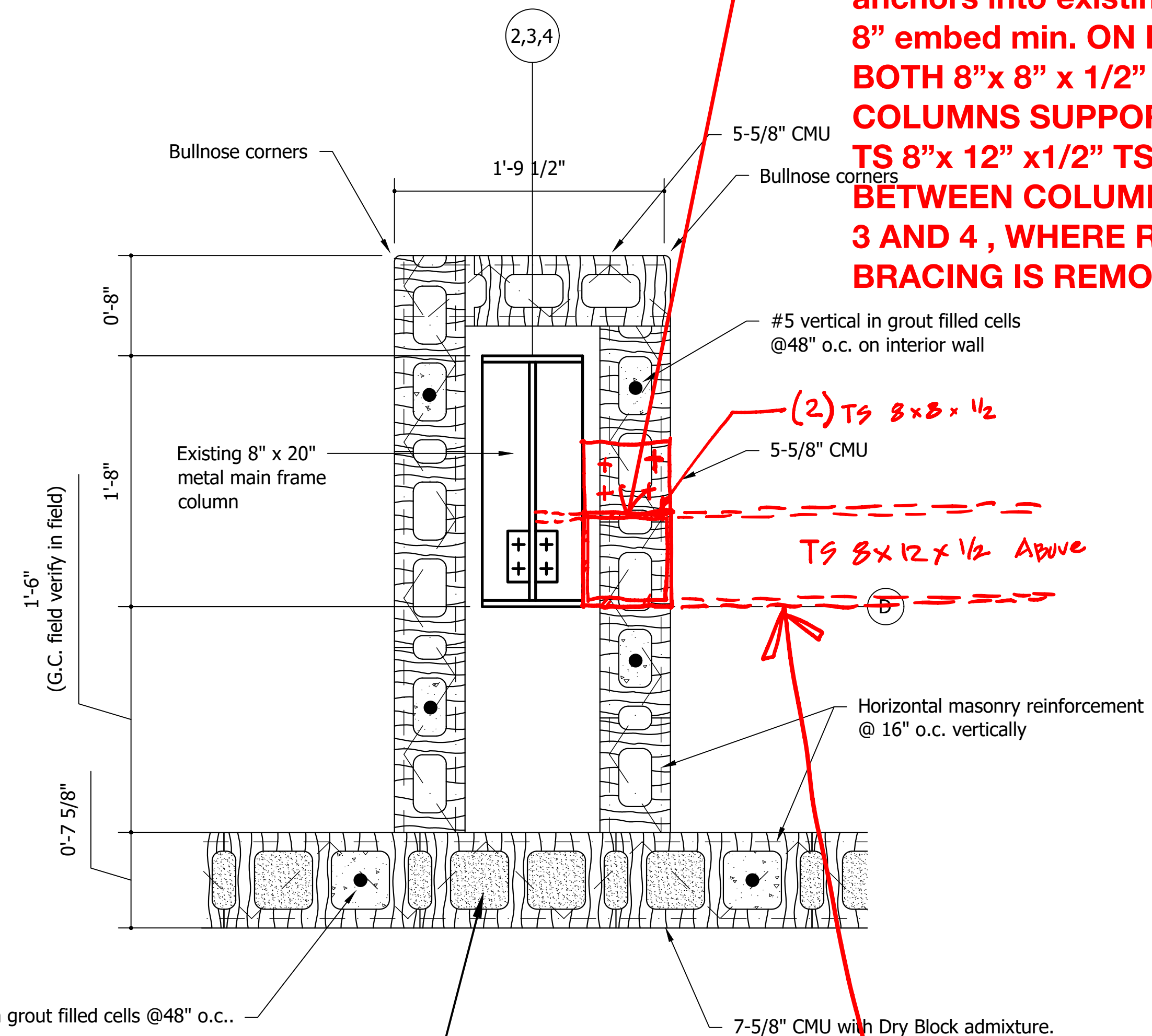
① INDEX TO INTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"

NEW EXTERIOR FOOTING SEE
DETAIL 1/A4-3, AND ADDENDUM
NO. 1

ADD1-1A



1
A1-4 Outside Kennel - Concrete Run Detail
Scale: 1-1/2" = 1'-0"



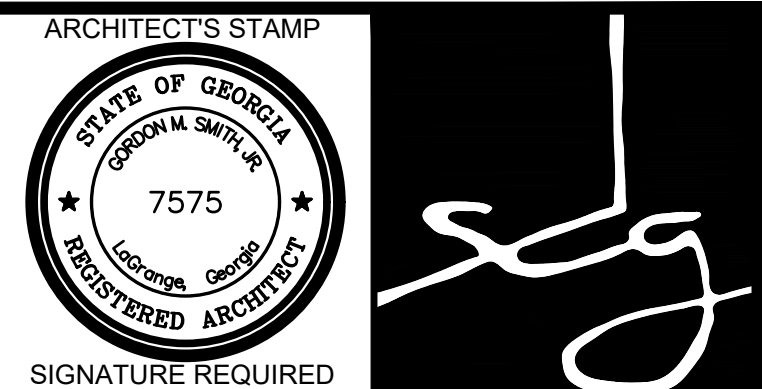
2
A1-4 CMU Wrap at Columns Detail
Scale: 1-1/2" = 1'-0"

Provide 3/4" x 8" X18" base plate with (4) 3/4" chemical anchors into existing slab, 8" embed min. ON BASE OF BOTH 8"x 8" x 1/2" TUBE COLUMNS SUPPORTING TS 8"x 12" x 1/2" TS BEAM BETWEEN COLUMN LINES 3 AND 4, WHERE ROD X BRACING IS REMOVED.

TS 8" x 12" x 1/2" . WELD ALL AROUND TO FACE OF EXISTING MAIN FRAME COLUMN WEB. WELD TOP OF BOTH 8" x 8" x 1/2" TUBE STEEL COLUMNS TO BOTTOM OF TS 8" X 12" X 1/2" AT EACH END AS CLOSE TO EXISTING MAIN FRAME COLUMNS AS POSSIBLE BETWEEN COLUMN LINES 3 AND 4. APPROXIMATELY 25 FEET APART. AFTER REMOVAL OF EXISTING ROD X BRACING, PROVIDE TEMPORARY BRACING AS REQUIRED, UNTIL NEW PERMANENT BRACING IS INSTALLED

BRACING FOR REMOVAL OF EXISTING ROD "X" Bracing, provide temporary bracing as required until permanent bracing installed

ADD1-2A



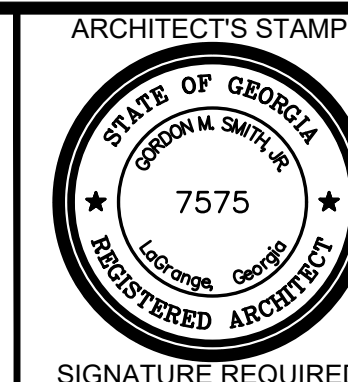
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REVISIONS	
DATE	DESCRIPTION

PROJECT:
Animal Control Facility
Troup County
144 Sam Walker Drive
LaGrange, Georgia

TITLE:
Details

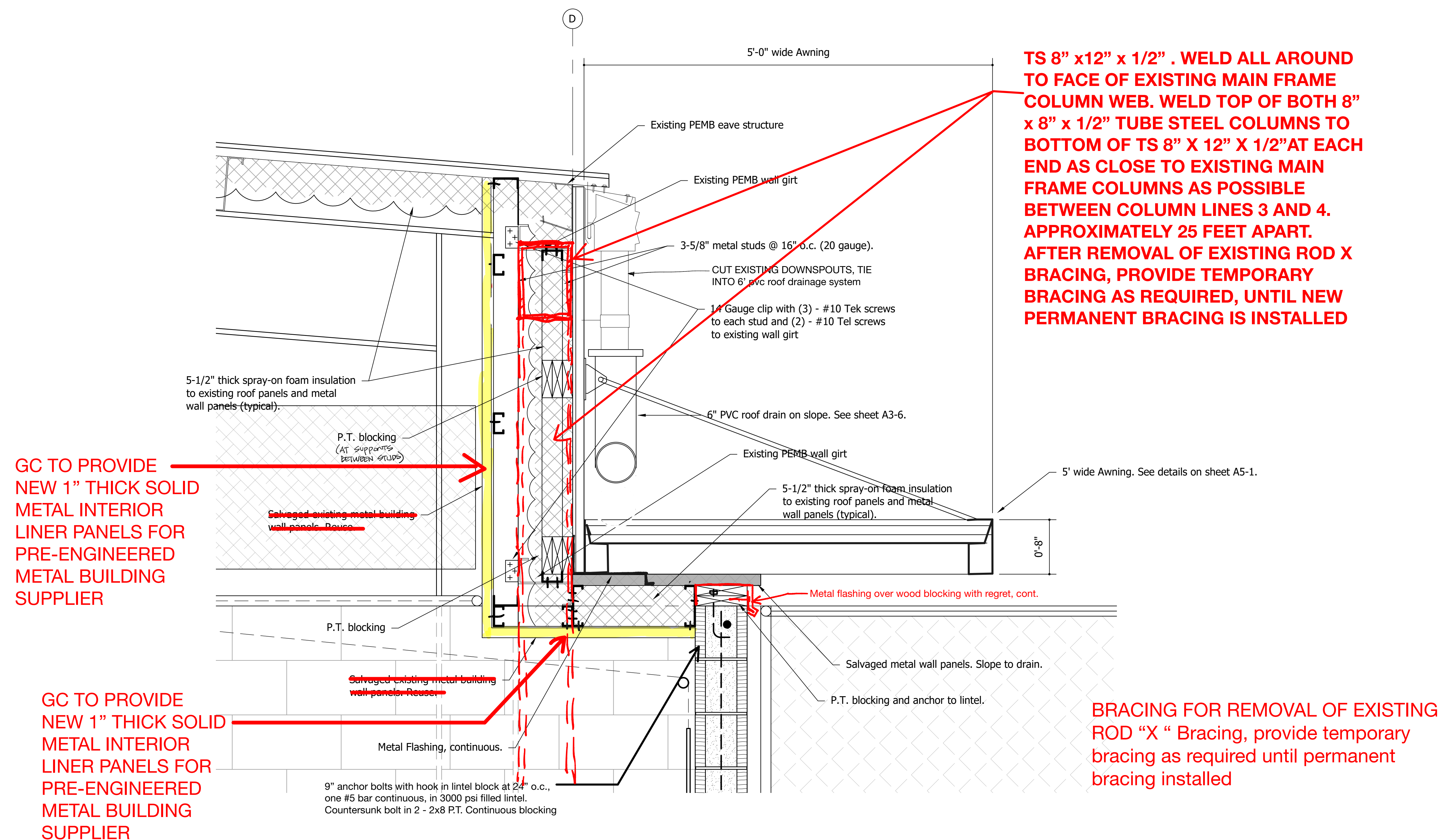
MODIFIED DATE:	JOB NO: 2518
ISSUED DATE: For Pricing and Permit 12 Nov 2025	SHEET: A1-4



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1
A4-4 Wall Section - Proposed

Scale: 1-1/2" = 1'-0"

ADD1-3A

REVISIONS

DATE	DESCRIPTION

PROJECT:
Animal Control Facility
Troup County
144 Sam Walker Drive
LaGrange, Georgia

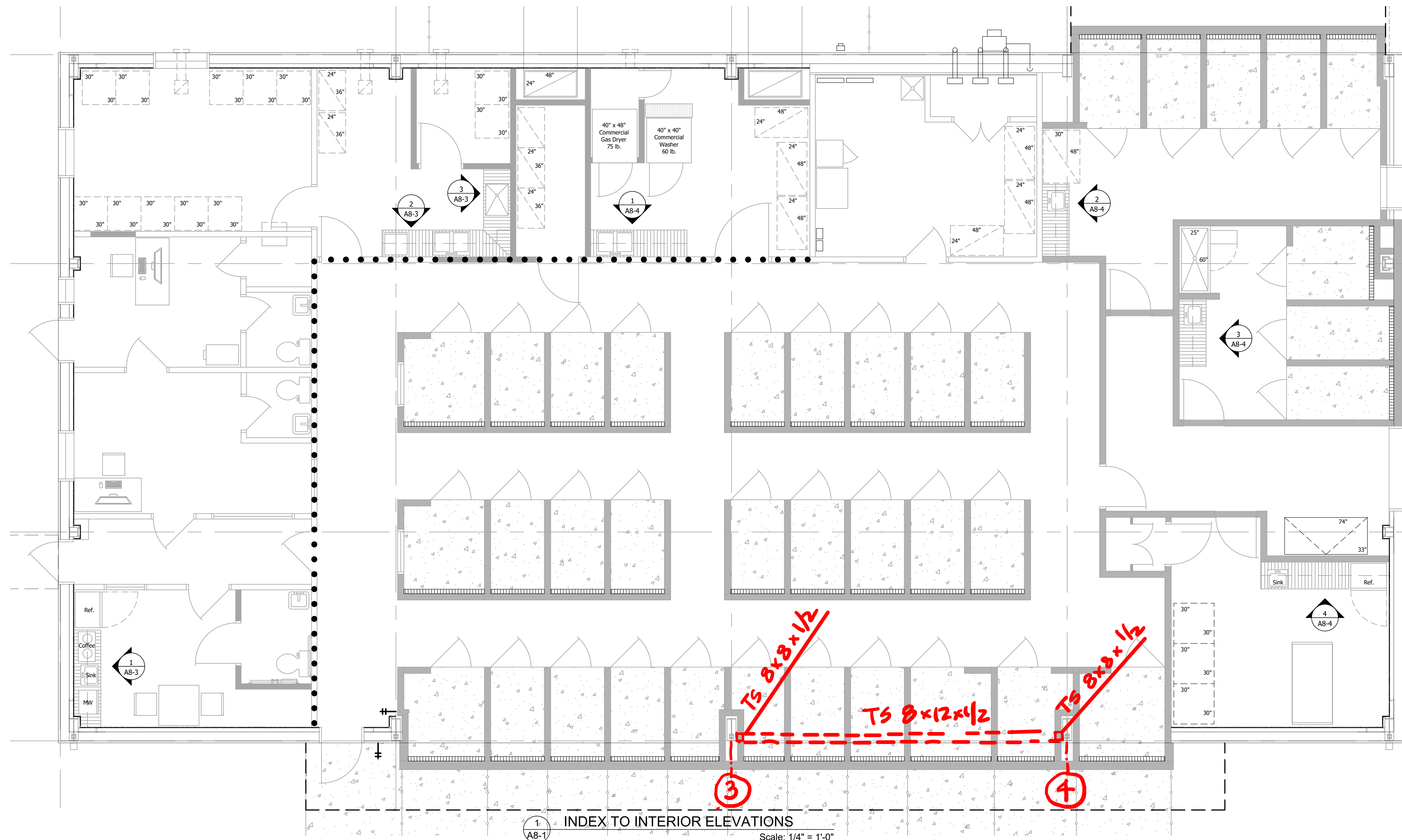
TITLE:
Wall Section - Proposed

MODIFIED DATE:	JOB NO: 2518
ISSUED DATE: For Pricing and Permit 12 Nov 2025	SHEET: A4-4



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**BRACING FOR REMOVAL OF EXISTING
ROD "X" Bracing, provide temporary
bracing as required until permanent
bracing installed**

ADD1-4A

REVISIONS

DATE	DESCRIPTION

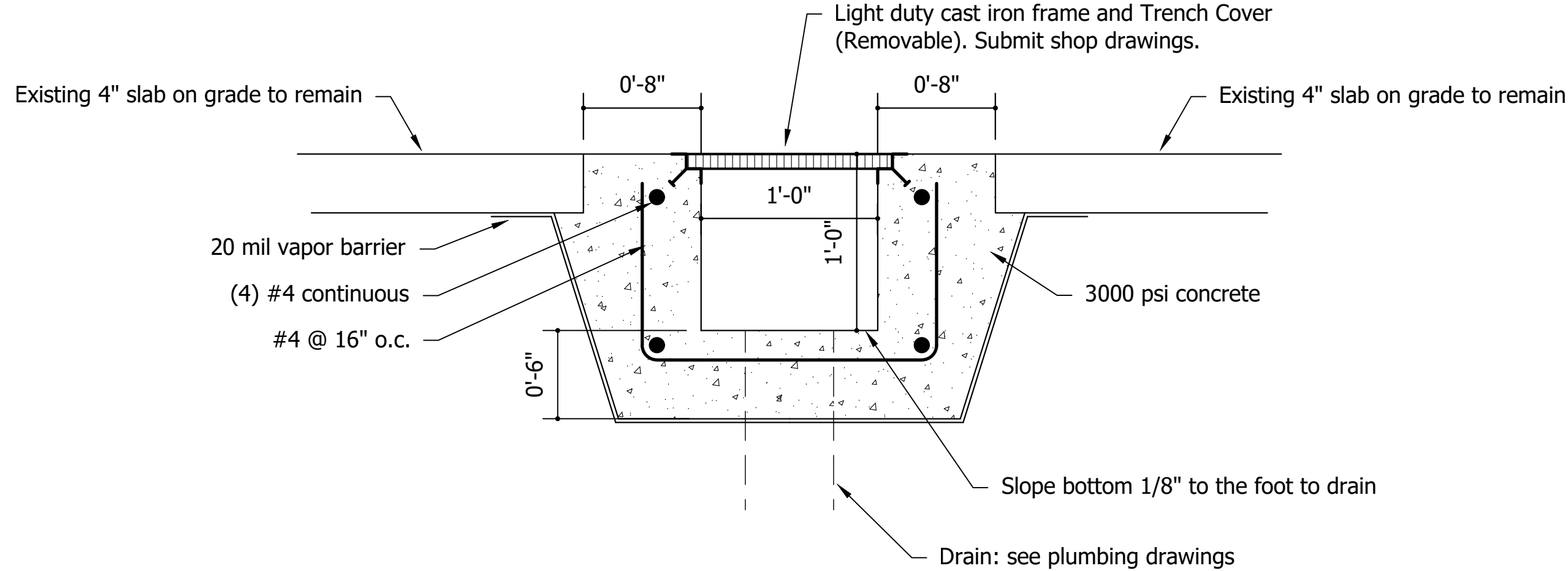
PROJECT:
Animal Control Facility
Troup County
144 Sam Walker Drive
LaGrange, Georgia

TITLE:
**INTERIOR ELEVATION
INDEX**

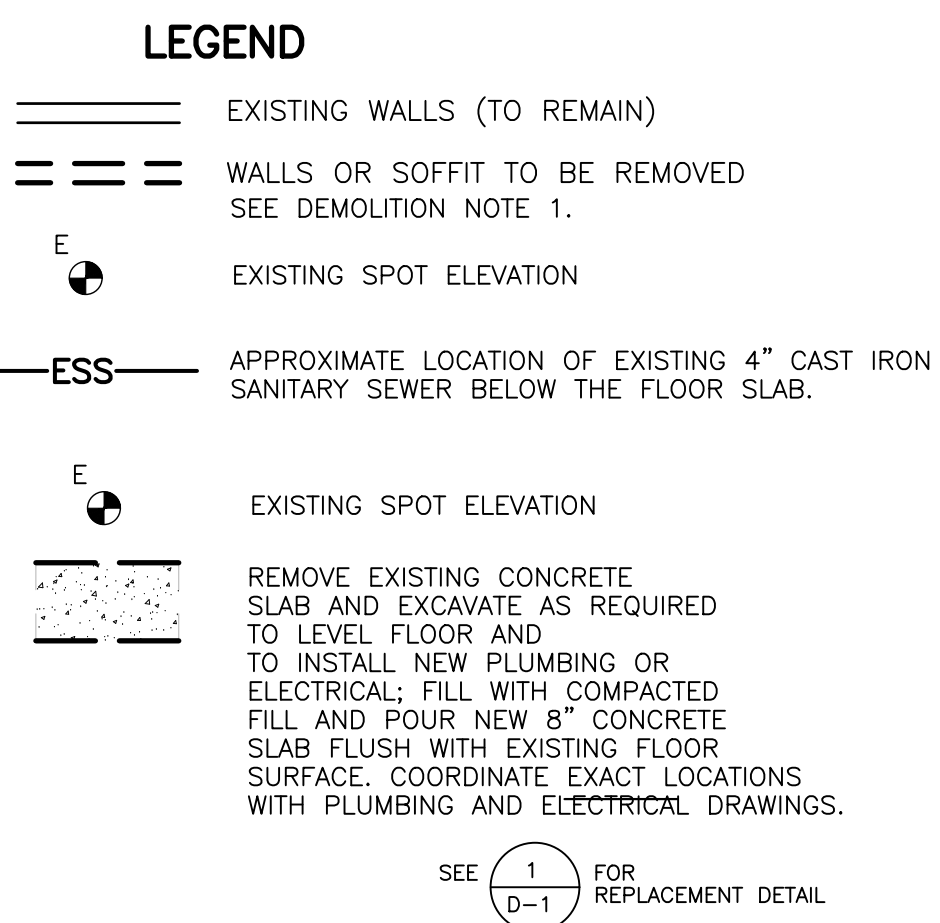
MODIFIED DATE:	JOB NO: 2518
ISSUED DATE: For Pricing and Permit 12 Nov 2025	SHEET: A8-1

CALL BEFORE YOU DIG – 811
AND G.C. TO CONFIRM WITH
OWNER ANY UNDERGROUND
UTILITIES IN AREA OF NEW
WORK PRIOR TO DIGGING.

NOTE:
ALL EXISTING CONSTRUCTION SHOWN
ON THESE DRAWINGS ARE FOR
REFERENCE ONLY. CONTRACTOR IS TO
VERIFY CORRECTNESS OF ALL
EXISTING CONSTRUCTION.

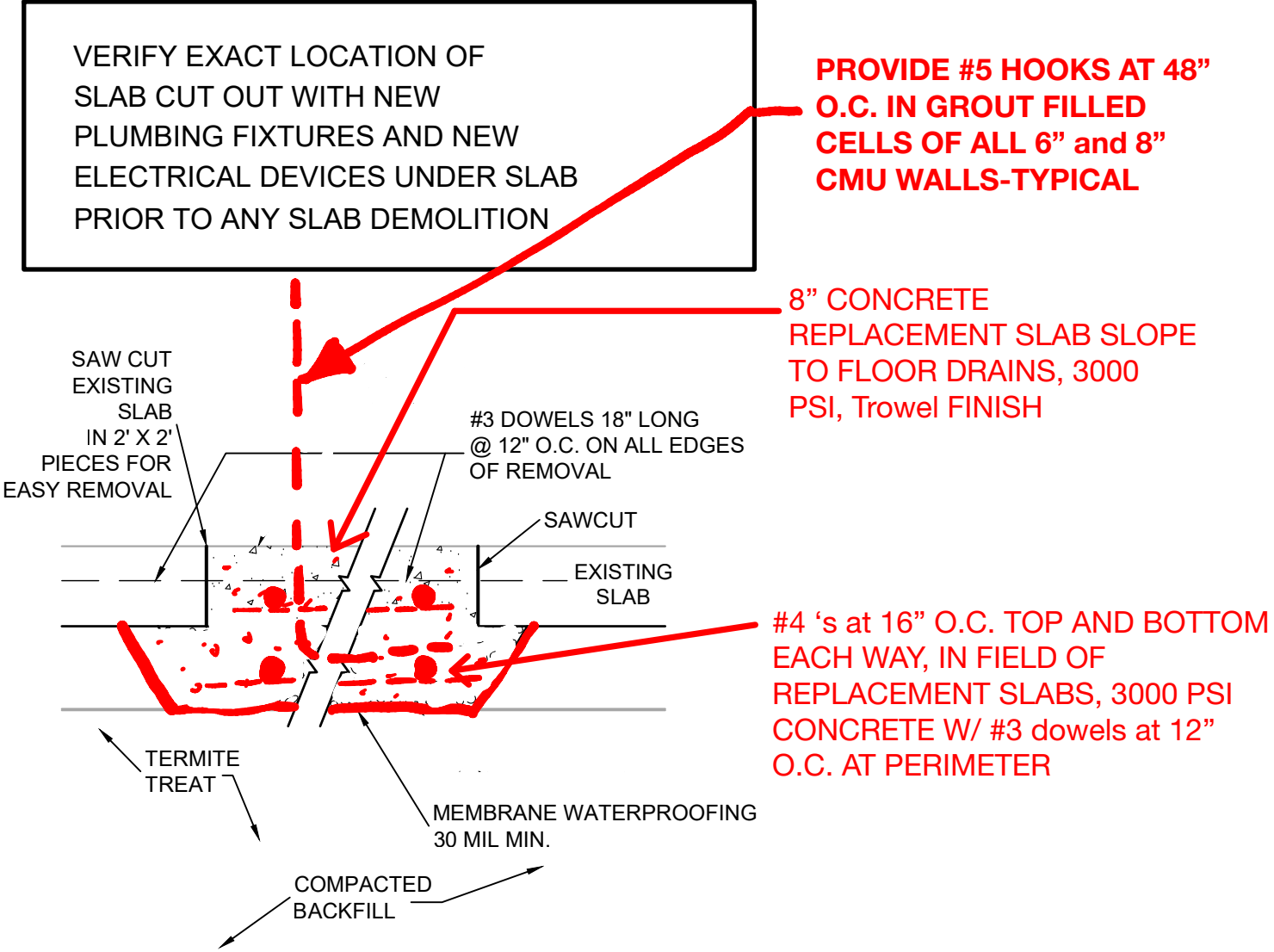


1
D-1 Washer / Extractor Trough Drain Section Detail
SCALE: 1 1/2" = 1'-0"



CONTRACTOR IS TO FIELD VERIFY
EXISTING FLOW DIRECTION AND
CONDITION OF EXISTING SANITARY
SEWER LINE BY USE OF A CAMERA.
NOTIFY OWNER AND ARCHITECT OF
CONDITION OF EXISTING LINE IN
WRITING.

DISPOSAL OF DEMOLITION DEBRIS
ALL DEMOLITION DEBRIS IS TO BE
HAULED TO GEORGIA EPD CERTIFIED
LANDFILL THAT ARE ALLOWED TO
ACCEPT CONSTRUCTION DEBRIS.
CONTRACTOR TO PAY ALL DUMP FEES
AND SUBMIT DUMP TICKETS TO
ARCHITECT AND OWNER. CONTRACTOR
IS TO PROVIDE WRITTEN NOTIFICATION
TO ARCHITECT AND OWNER OF WHICH
LANDFILL WILL BE USED AND GEORGIA
EPD CERTIFICATION NUMBER OF
LANDFILL, 14 DAYS PRIOR TO HAULING
TO LANDFILL.



A
D-1 TYPICAL CONCRETE REPLACEMENT
SCALE: 1 1/2" = 1'-0"

ADD1-5A



Signature of Gordon M. Smith

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REVISIONS		
Δ	DATE	DESCRIPTION

PROJECT:
Animal Control Facility
Troup County
144 Sam Walker Drive
LaGrange, Georgia

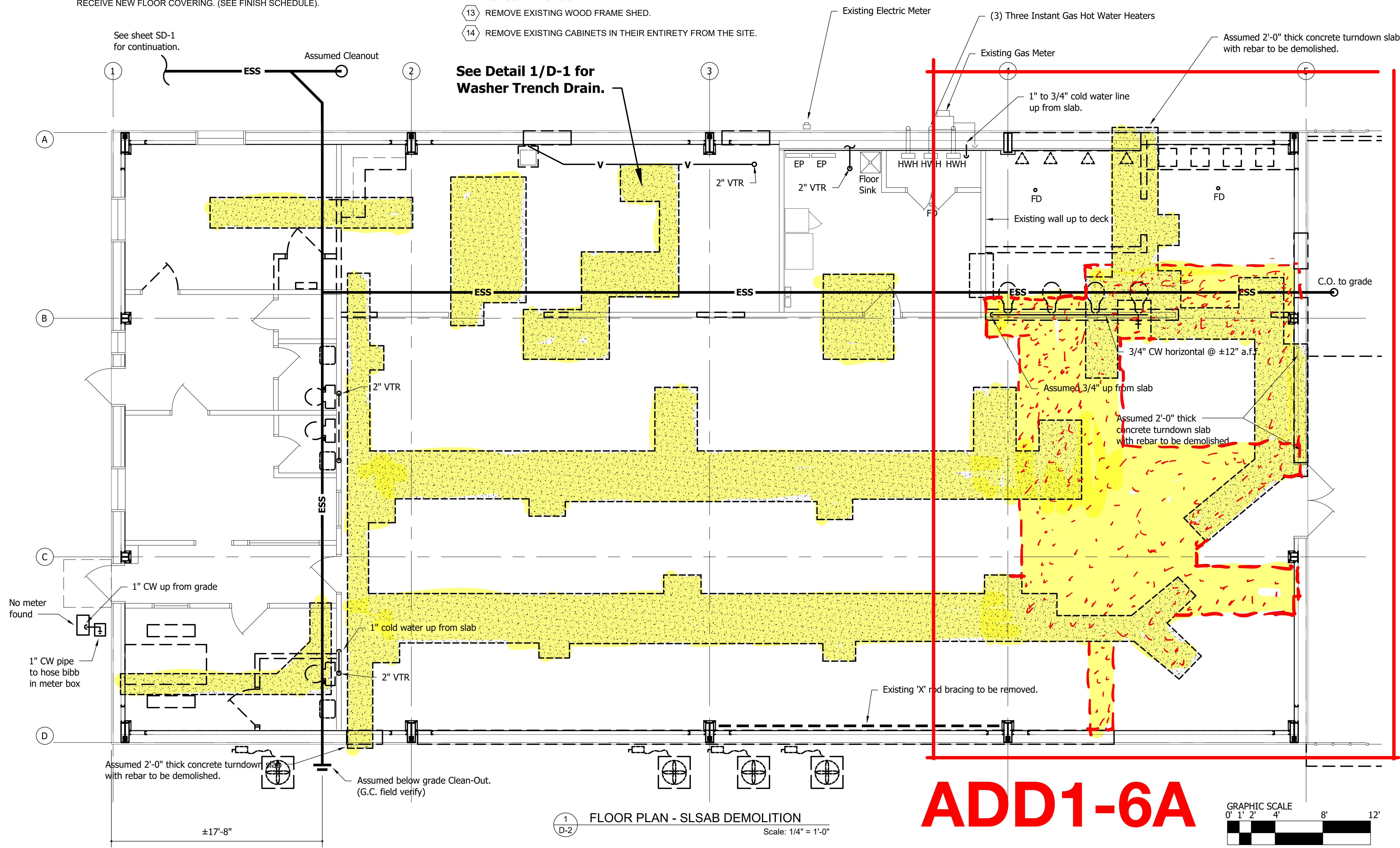
TITLE:
**DEMOLITION NOTES
DETAILS**

MODIFIED DATE:	JOB NO: 2518
ISSUED DATE: For Pricing and Permit 12 Nov 2025	SHEET: D-1

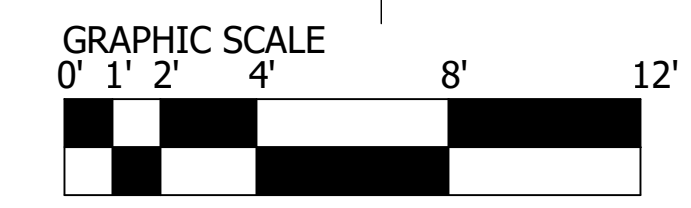
- 1 REMOVE EXISTING WALL CONSTRUCTION SHOWN DASHED IN ITS ENTIRETY (UNLESS OTHERWISE NOTED). LEAVE NO UNSUPPORTED PORTION OF WALL REMAINING ABOVE CEILING. RESTORE THE FLOOR SLAB FLUSH WITH ADJACENT SLAB BY USING NON-SHRINKING EPOXY GROUT WHERE VOIDS EXIST AND BY GRINDING DOWN WHERE HIGH PLACES EXIST. ANY ELECTRICAL CONDUIT AND WIRING ENCOUNTERED IS TO BE REMOVED. LEAVE EXISTING COLUMNS. REMOVE ALL SURFACE APPLIED ELECTRICAL DEVICES AND CONDUIT.
DO NOT REMOVE LOAD BEARING WALLS UNTIL NEW STRUCTURE IS IN PLACE.
- 2 REMOVE PORTION OF EXISTING WALL AS NECESSARY TO INSTALL NEW DOOR AND/OR WINDOW AND FRAME. RESTORE FLOOR AS DESCRIBED IN NOTE 1. PROVIDE NEW LINTEL ABOVE NEW WINDOW AS REQUIRED. SEE DETAIL A, B, C, D ON SHEET D-1.
- 3 REMOVE EXISTING DOOR, FRAME AND HARDWARE AS SCHEDULED.
- 4 REMOVE EXISTING FLOOR COVERING (INCLUDING HARD TILE AND GROUT) IN THIS AREA. PREPARE FLOOR TO RECEIVE NEW FLOOR COVERING OR SEALER. PROVIDE FLOOR LEVELING COMPOUND AS REQUIRED TO PREPARE FLOOR TO RECEIVE NEW FLOOR COVERING. (SEE FINISH SCHEDULE).

- 5 EXISTING COLUMN TO REMAIN.
- 6 REMOVE EXISTING WINDOW OR DOOR - INFILL WITH NEW WALL CONSTRUCTION THAT MATCHES ADJACENT WALL CONSTRUCTION.
- 7 REMOVE EXISTING PLUMBING FIXTURE IN ITS ENTIRETY. CAP UTILITIES BELOW FLOOR AND INSIDE WALL.
- 8 REMOVE EXISTING PLUMBING FIXTURE AND REPLACE WITH NEW PLUMBING FIXTURE. SEE PLUMBING DRAWINGS.
- 9 REMOVE EXISTING CEILINGS, INSULATION AND LIGHTS IN THEIR ENTIRETY FROM SITE.
- 10 REMOVE EXISTING AWNING IN ITS ENTIRETY FROM THE SITE.
- 11 REMOVE EXISTING DUCTWORK IN ITS ENTIRETY FROM THE SITE.
- 12 REMOVE EXISTING DOOR AND FRAME. INSTALL NEW DOOR AND FRAME FOR OUTSWING DOOR.
- 13 REMOVE EXISTING WOOD FRAME SHED.
- 14 REMOVE EXISTING CABINETS IN THEIR ENTIRETY FROM THE SITE.

- 15 REMOVE EXISTING CONDENSING UNIT AND AHU AND ALL ASSOCIATED ELECTRICAL AND DUCTWORK IN THEIR ENTIRETY FROM THE SITE.
- 16 REMOVE EXISTING STAINLESS STEEL AND MASONRY TABLE AND EXISTING METAL BENCHES FROM THE SITE.
- 17 EXISTING DOOR AND FRAME TO REMAIN. REPLACE LOCKSET.
- 18 REMOVE EXISTING EXTERIOR METAL SIDING FROM SLAB TO BOTTOM OF WALL GIRT AT $\pm 7'-4"$ A.F.F. REMOVE EXISTING WALL GIRT AT $\pm 12'$ ABOVE SLAB AND ANY 'X' ROD BRACING. CUT METAL WALL PANELS SMOOTH. SALVAGE METAL EXTERIOR WALL PANELS FOR REUSE ON EXTERIOR AND INTERIOR.
- 19 REMOVE EXISTING EXTERIOR METAL SIDING APPROXIMATELY 12" ABOVE SLAB 24" HIGH X 48" WIDE. VERIFY WITH HVAC SUBCONTRACTOR. PROVIDE 2 - 6" (18 GAUGE) METAL STUDS AT EACH JAMB OF THE NEW OPENING FROM SLAB TO WALL GIRT AT $\pm 7'-4"$ A.F.F. PROVIDE 2 - 6" STUDS AT HEAD AND SILL OF OPENING. FLASH ALL AROUND DUCT AND WALL PENETRATION.
- 20 SAW CUT AND REMOVE EXISTING ASPHALT AND BASE FOR NEW CONCRETE PAD. SEE A1-3 FOR DIMENSIONS.



ADD1-6A



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EXISTING WALLS (TO REMAIN)


WALLS OR SOFFIT TO BE REMOVED
SEE DEMOLITION NOTE 1.

EXISTING SPOT ELEVATION

APPROXIMATE LOCATION OF EXISTING 4" CAST IRON
SANITARY SEWER BELOW THE FLOOR SLAB.

EXISTING SPOT ELEVATION

REMOVE EXISTING CONCRETE SLAB AND EXCAVATE AS REQUIRED TO LEVEL FLOOR AND TO INSTALL NEW PLUMBING OR ELECTRICAL; FILL WITH COMPACTED FILL AND POUR NEW 8" CONCRETE SLAB FLUSH WITH EXISTING FLOOR SURFACE. COORDINATE EXACT LOCATIONS WITH PLUMBING AND ELECTRICAL DRAWINGS.

SEE  FOR REPLACEMENT DETAIL.

#4 's at 16" O.C. TOP AND BOTTOM
IN FIELD OF REPLACEMENT
SLABS, 3000 PSI CONCRETE W/ #3
dowels at 12" O.C. AT PERIMETER

1' X 1' GRID @ 1/4" = 1'-0"

A blank 10x10 grid for graphing, consisting of 10 columns and 10 rows of squares.

[illegible]

PROJECT:

Animal Control Facility
Troup County
144 Sam Walker Drive
LaGrange, Georgia

TITLE:

FLOOR PLAN
SLAB DEMOLITION

MODIFIED DATE:	JOB NO: 2518
ISSUED DATE: For Pricing and Permit 12 Nov 2025	SHEET: D-2

CLOSED CELL INSULATION DESIGN BASED ON 1 of 2



TECHNICAL DATA SHEET

CLOSED CELL FOAM SealTite™ PRO Closed Cell

SealTite PRO Closed Cell is a two-component, medium density, one to one by volume spray-applied polyurethane foam. SealTite PRO Closed Cell is an insulation system designed for use in commercial and residential applications. Use in lieu of more traditional forms of insulating materials such as fiberglass, cellulose or other loose fill products. Typical areas where SealTite PRO Closed Cell is applied are exterior and interior walls, vented attics, unvented attic assemblies and between floors.

TYPICAL PHYSICAL PROPERTIES:

Property	SealTite	Test
R-Value	6.9 @ 1" 21 @ 3"	ASTM C-518
Core Density	2.0 LB / Cubic Foot	ASTM D-1622
Closed Cell Content	> 90%	ASTM D-2856
Sound Transmission Coefficient	41	ASTM E-90-85/E 413
Water Absorption	< 2% by volume	ASTM D-2842
Water Vapor Transmission - Permeance	0.8 perms @ 1" 0.23 perms @ 3.5"	ASTM E-96
Air Impermeable	< 0.02 (L/s-m ²) @ 1"	ASTM E-2178
Tensile Strength (PSI)	60	ASTM D-1623
Dimensional Stability	< 9%	ASTM D-2126
Compressive Strength	47	ASTM D-1621
Fungi Resistance	Zero Rating	ASTM G-21

Building Code Certifications / Fire Test Data

Evaluation Service Report	IAMPO	UES - 621
Building Types	Approved	I, II, III, IV, V-B: Nonstructural Insulation material
Flame Spread	ASTM E84	Class I < 25
Smoke Development	ASTM E84	Class I < 450
ASTM C 1029	Spray Applied Polyurethane Thermal Insulation	Meets or Exceeds Type II
NFPA 285	Pass: Standard fire test method for evaluation of fire propagation characteristics of exterior non-load bearing wall assemblies containing combustible components.	
NFPA 286	Pass: Can be used without a 15-minute thermal barrier when covered with one of the approved intumescent coatings as shown on page 2.	
NFPA 286 AC377 Appendix X	Pass: Complies with the applicable requirements of ICC-ES AC377 Appendix X for use in attics and crawlspaces without a prescriptive ignition barrier.	
UL 1715	Pass: Can be used without a Code prescribed 15-minute thermal barrier when included as a component in tested alternative thermal barrier assemblies. See THERMAL BARRIER on page 2.	
UL Listing	FWFX.R38039	Exterior Wall System Component
UL Listing	FWFO.EWS0013 & EWS0029	Exterior Wall System
Greenguard Gold	GOLD: UL 2818 - 2013 Standard for Chemical Emissions for Building Materials, Finishes and furnishings.	



CLOSED CELL INSULATION DESIGN BASED ON 2 of 2



CLOSED CELL FOAM SealTite PRO Closed Cell

THERMAL BARRIER:

Current International Building Code (IBC) and International Residential Code (IRC) require that spray polyurethane foam be separated from the building interior by a Code prescribed 15-minute thermal barrier or a Code-approved alternative. Gypsum board at a minimum thickness of ½" is a Code-prescribed 15-minute thermal barrier. The following products when installed per manufacturer specifications are alternative thermal barrier assemblies containing SealTite PRO Closed Cell:

Approved Intumescent Coatings:

DC315™ manufactured by: International Fireproof Technology, Inc	Application Rates: 14 Wet Mils - 9 Dry Mils
Fireshell TB manufactured by: TPR2 Corporation	Application Rates: 20 Wet Mils - 12 Dry Mils
Plus ThB manufactured by: No Burn Inc.	Application Rates: 14 Wet Mils - 9 Dry Mils

IGNITION BARRIER:

SealTite PRO Closed Cell meets the requirements of ICC-ES AC377 and Appendix X for use in attics and crawlspaces without the use of a prescriptive ignition barrier or Intumescent Coating under the following conditions.

a	Entry is only to service utilities in the attic or crawlspace and no storage is permitted.
b	Attic or crawlspace areas cannot be connected.
c	Air from the attic or crawlspace cannot be circulated to other parts of the building.
d	In accordance with IBC 2024 Section 1202.3 or IRC 2024 Section R408, under floor (crawlspace) ventilation is provided as applicable.
e	In accordance with IBC 2024 Section 1202.2 or IRC 2024 Section R806, attic ventilation is provided as applicable.
f	In accordance with 2012 and 2009 IMC (International Mechanical Code®) Section 701, or 2006 IMC Sections 701 and 703, combustion air is provided.
g	The foam plastic insulation is limited to the maximum thickness and density tested.
h	The installed coverage rate of coatings, if part of the insulation system shall be equal or greater than that tested.

GENERAL PROPERTIES: SealTite PRO Closed Cell is a 2.0 pcf density closed cell insulating material. SealTite PRO Closed Cell is designed for use where insulation systems require superior air barrier characteristics along with the ability to minimize moisture infiltration. SealTite PRO Closed Cell has a 6.9 per inch R-value rating while providing structural enhancement due to its semi-rigid nature when cured. When properly installed by a professional application company SealTite PRO Closed Cell quickly expands to fill the cracks, crevices, gaps and voids that exist in every structure. In addition, SealTite PRO Closed Cell will conform to the curves, irregular surfaces and spaces to form a superior thermal envelope around your entire structure.

EQUIPMENT AND COMPONENT RATIOS: The mix ratio is 1 to 1 by volume.

The pre-heater temperatures should be set between 105°F – 135°F and able to maintain +/- 5°F.

VAPOR RETARDER: When installed at a minimum thickness of 1" SealTite PRO Closed Cell is considered a vapor retarder. Consult local building code officials for specific requirements. Climate zone tables are available in current IBC and IRC publications.

APPLICATION GUIDELINES: Polyurethane foam systems should be processed through commercially available spray equipment designed for that purpose by a qualified professional applicator. Consult the current Carlisle Spray Foam Insulation application guidelines for SealTite PRO Closed Cell (Grade: Summer or Winter) OR SealTite PRO Closed Cell (Grade: Arctic) prior to installation. It is the responsibility of the professional applicator to thoroughly understand all equipment technical information and safe operating procedures that pertain to a spray polyurethane foam application.

MATERIAL HANDLING: Due to the reactive nature of these components respiratory protection is mandatory. The vapors and liquid aerosols present during application and for a short period thereafter must be considered – and appropriate protective measures taken – to minimize potential risks from overexposure through inhalation, skin, or eye contact. These protective measures include adequate ventilation, safety training for installers and other workers, use of appropriate personal protective equipment, and a medical surveillance program. It is imperative that the applicator read and become familiar with all available information on proper use and handling of spray polyurethane foam. Additional information is available at www.carlislesfi.com or by contacting the Technical Services department of Carlisle Spray Foam Insulation.

PROPER STORAGE OF RAW MATERIALS: Shelf life is Six (6) months from date of manufacture when stored indoors, in the original unopened containers and between the temperatures of 50° – 80°F.

TECHNICAL ASSISTANCE: For additional assistance please contact the Technical Services department of Carlisle Spray Foam Insulation at (844) 922-2355.

DISCLAIMER: To the best of our knowledge, all technical data contained herein is true and accurate as of the date of issuance and subject to change without prior notice. User must contact Carlisle Spray Foam Insulation to verify correctness before specifying or ordering. We guarantee our products to conform to the quality control standards established by Carlisle Spray Foam Insulation. We assume no responsibility for coverage, performance or injuries resulting from use. Liability, if any, is limited to replacement of the product. NO OTHER WARRANTY OR GUARANTEE OF ANY KIND IS MADE BY CARLISLE SPRAY FOAM INSULATION EXPRESSED OR IMPLIED; STATUTORY, BY OPERATION OF LAW, OR OTHERWISE, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.



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